

# JOINT PUBLIC NOTICE

March 21, 2016

United States Army Corps of Engineers  
New Orleans District  
Regulatory Branch  
Post Office Box 60267  
New Orleans, Louisiana 70160-0267

State of Louisiana  
Department of Environmental Quality  
Office of Environmental Services  
Post Office Box 4313  
Baton Rouge, Louisiana 70821-4313

(504) 862-1301  
Project Manager  
Neil T. Gauthier  
[Neil.T.Gauthier@usace.army.mil](mailto:Neil.T.Gauthier@usace.army.mil)  
MVN 2016-00073-CM

(225) 219-3225  
Project Manager  
Elizabeth Hill  
WQC Application Number  
WQC 160321-01

Interested parties are hereby notified that a permit application has been received by the New Orleans District of the US Army Corps of Engineers pursuant to: [ ] Section 10 of the Rivers and Harbors Act of March 3, 1899 (30 Stat. 1151; 33 USC 403); and/or [X] Section 404 of the Clean Water Act (86 Stat. 816; 33 USC 1344).

Application has also been made to the Louisiana Department of Environmental Quality, Office of Environmental Services, for a Water Quality Certification (WQC) in accordance with statutory authority contained in LRS 30:2074 A(3) and provisions of Section 401 of the Clean Water Act.

## **PLACEMENT OF FILL FOR THE CONSTRUCTION OF A RESIDENTIAL SUBDIVISION (OAK LAKE) IN ASCENSION PARISH**

**NAME OF APPLICANT:** DR Horton, Inc. Gulf Coast, c/o Hydrik Wetlands Consultants, Attn: Michael Henry, 2323 Hwy190 East, Suite 2, Hammond, Louisiana 70401.

**LOCATION OF WORK:** Approximately 0.7 acre south of I-10, Section 13 and 45, T10S-R3E, in Gonzales, Louisiana, in Ascension Parish, within the Lake Maurepas Basin in hydrologic unit (HUC 08070204), as shown on the attached drawings.

**CHARACTER OF WORK:** The applicant has requested Department of the Army authorization to clear, grade, excavate, and deposit fill from onsite to construct and maintain a residential subdivision (Oak Lake) to include 163 lots, streets, house pads, utilities, 2 storm water detention ponds, a park, recreational center, pool, and two walking paths. Approximately 15,000 cubic yards of fill material from onsite will be redistributed to achieve required grade elevation requirements. The proposed project is situated on an approximately 55-acre tract that has been determined to include approximately 8.03 acres of forested wetlands and approximately 0.67 acre of other waters of the US. A preliminary analysis has determined that the proposed project would directly impact approximately 7.14 acres of jurisdictional forested wetlands and 0.56 acre of other waters of the US during construction. It is anticipated that the proposed action would have minimal impact on adjacent wetlands.

The applicant has designed the project to avoid and minimize direct and secondary adverse impacts to the maximum extent practicable. Any further reduction would limit usage of the property and, therefore function deeming the project impracticable. As compensation for unavoidable wetland impacts, the applicant proposes to mitigate in-kind wetland credits from a Corps approved mitigation bank located in the watershed.

The comment period for the Department of Army will close in **20 days** from the date of this joint public notice. Written comments, including suggestions for modifications or objections to the proposed work, stating reasons thereof, are being solicited from anyone having interest in this permit and/or this WQC request and must be mailed so as to be received before or by the last day of the comment period. Letters concerning the Corps of Engineers permit application must reference the applicant's name and the Permit Application Number, and be mailed to the Corps of Engineers at the address above, **ATTENTION: REGULATORY BRANCH**. Similar letters concerning the Water Quality Certification must reference the applicant's name and the WQC application number and be mailed to the Louisiana Department of Environmental Quality at the address above. Individuals or parties may request an extension of time in which to comment on the proposed work by writing or e-mailing the Corps of Engineers Project Manager listed above. Any request must be specific and substantively supportive of the requested extension, and received by this office prior to the end of the initial comment period. The Section Chief will review the request and the requestor will be promptly notified of the decision to grant or deny the request. If granted, the time extension will be continuous to the initial comment period and, inclusive of the initial comment period, will not exceed a total of 30 calendar days.

### **Corps of Engineers Permit Criteria**

The decision whether to issue a permit will be based on an evaluation of the probable impacts, including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefit which reasonably may be expected to accrue from the proposal must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered including the cumulative effects thereof; among those are conservation, economics, aesthetics, general environmental concerns, wetlands, historic properties, fish and wildlife values, flood hazards, floodplain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production, mineral needs, considerations of property ownership and, in general, the needs and welfare of the people.

The US Army Corps of Engineers is soliciting comments from the public, federal, state, and local agencies and officials, Indian Tribes, and other interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the US Army Corps of Engineers to determine whether to make, modify, condition, or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general

environmental effects, and other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

The New Orleans District is unaware of properties listed on the National Register of Historic Places near the proposed work. The possibility exists that the proposed work may damage or destroy presently unknown archeological, scientific, pre-historical, historical sites, or data. Issuance of this public notice solicits input from the State Archeologist and State Historic Preservation Officer regarding potential impacts to cultural resources.

Our initial finding is that the proposed work would neither affect any species listed as endangered by the U.S. Departments of Interior or Commerce, nor affect any habitat designated as critical to the survival and recovery of any endangered species.

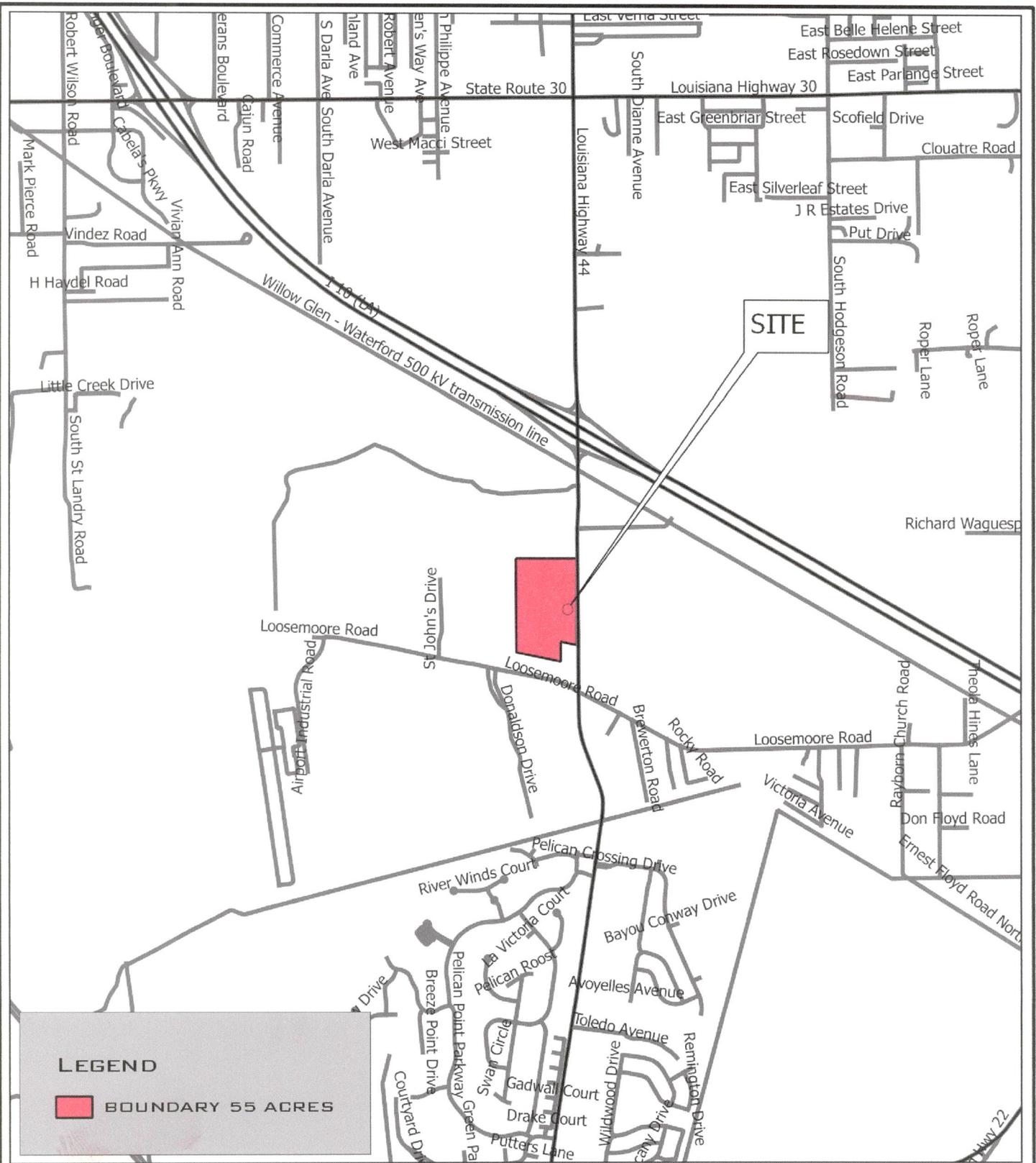
This notice initiates the Essential Fish Habitat (EFH) consultation requirements of the Magnuson-Stevens Fishery Conservation and Management Act. The applicant's proposal would result in the destruction or alteration of up to 0 acres of EFH utilized by various life stages of red drum and penaeid shrimp. Our initial determination is that the proposed action would not have a substantial adverse impact on EFH or federally managed fisheries in the Gulf of Mexico. Our final determination relative to project impacts and the need for mitigation measures is subject to review by and coordination with the National Marine Fisheries Service.

If the proposed work involves deposits of dredged or fill material into navigable waters, the evaluation of the probable impacts will include the application of guidelines established by the Administrator of the Environmental Protection Agency. Also, a certification that the proposed activity will not violate water quality standards will be required from the Department of Environmental Quality, Office of Environmental Services before a permit is issued.

Any person may request, in writing, within the comment period specified in this notice, that a public hearing be held to consider this application. Requests for public hearings shall state, with particularity, the reasons for holding a public hearing. You are requested to communicate the information contained in this notice to any other parties whom you deem likely to have interest in the matter.

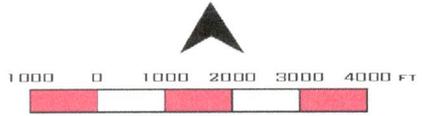
JOHN M. HERMAN  
Chief, Central Evaluation Section  
Regulatory Branch

Enclosures



DR HORTON, INC. GULF SOUTH  
 55 ACRES  
 GONZALES, LA  
 ASCENSION PARISH

SITE COORDINATES:  
 30.18281, -90.92230



PLEASE NOTE: MAP DATA IS FOR REFERENCE ONLY. THIS IS NOT A LEGAL SURVEY AND SHOULD NOT BE USED AS SUCH

SITE VICINITY

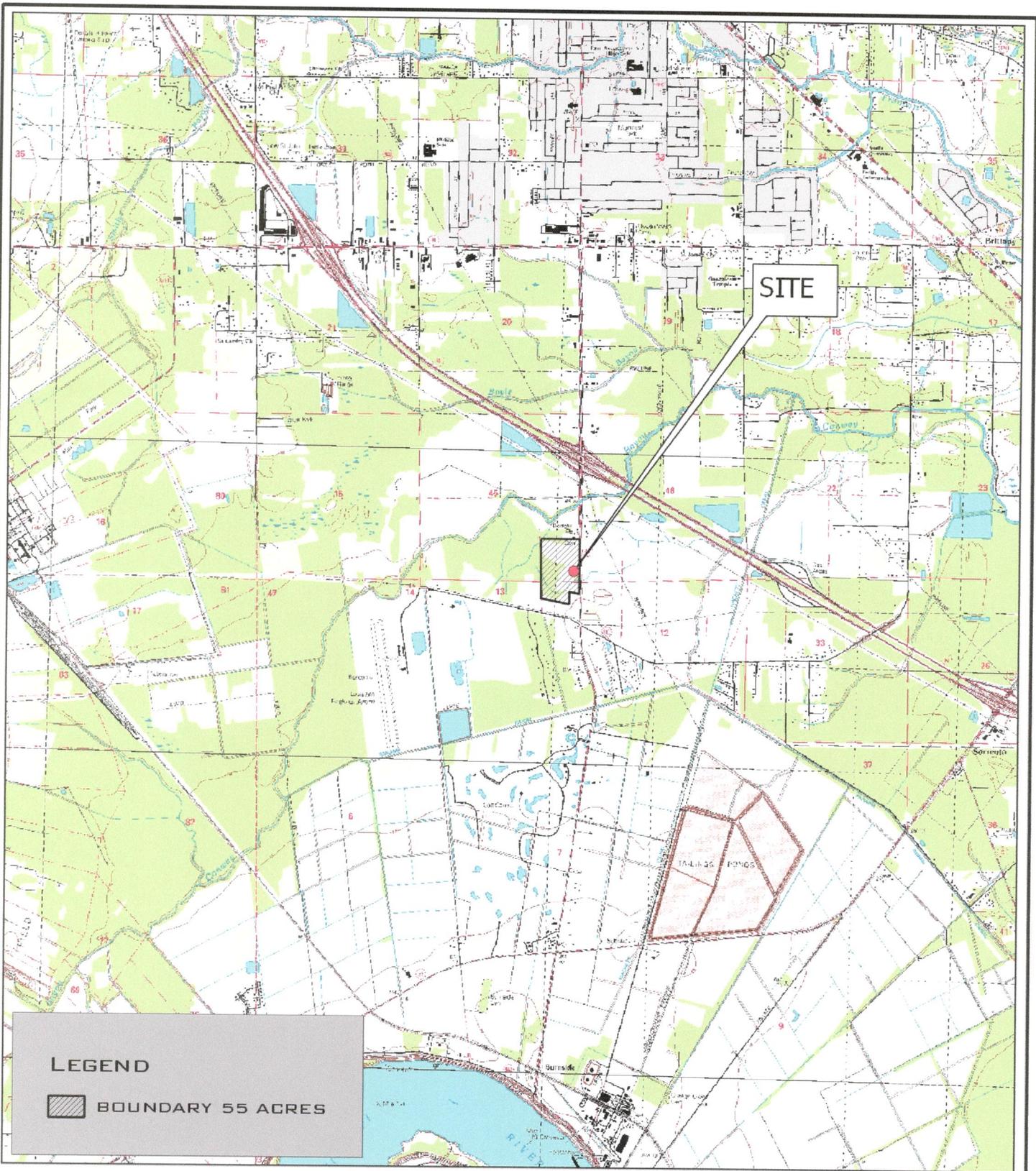
PROPOSED OAK LAKE SUBDIVISION SITE

FIGURE  
 1



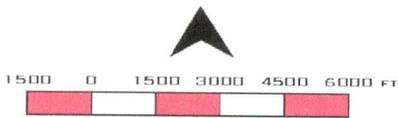
HF:1565B  
 DATE:122215

2323 HWY 190 EAST SUITE 2  
 HAMMOND, LA 70401  
 985 429 0333



DR HORTON, INC. GULF SOUTH  
 55 ACRES  
 GONZALES, LA  
 ASCENSION PARISH

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PROPOSED OAK LAKE SUBDIVISION SITE

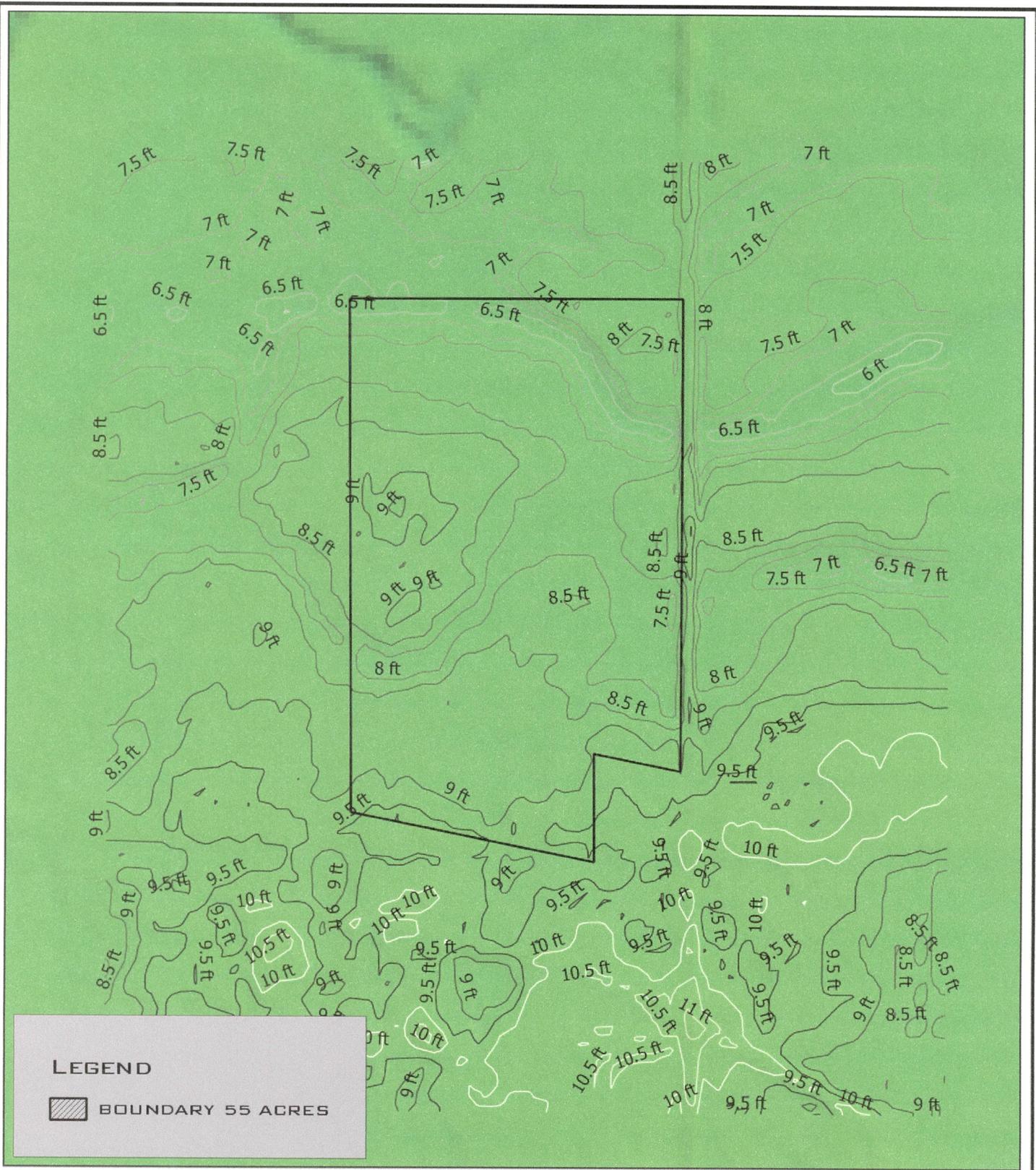
FIGURE  
 2

**HYDRIK**  
 WETLANDS - GIS - FLOOD CONTROL  
 WWW.HYDRIK.COM

HF:15650

DATE:122215

2323 HWY 190 EAST SUITE 2  
 HAMMOND, LA 70401  
 985 429 0333



DR HORTON, INC. GULF SOUTH  
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0.50' CONTOURS/DEM

PROPOSED OAK LAKE SUBDIVISION SITE

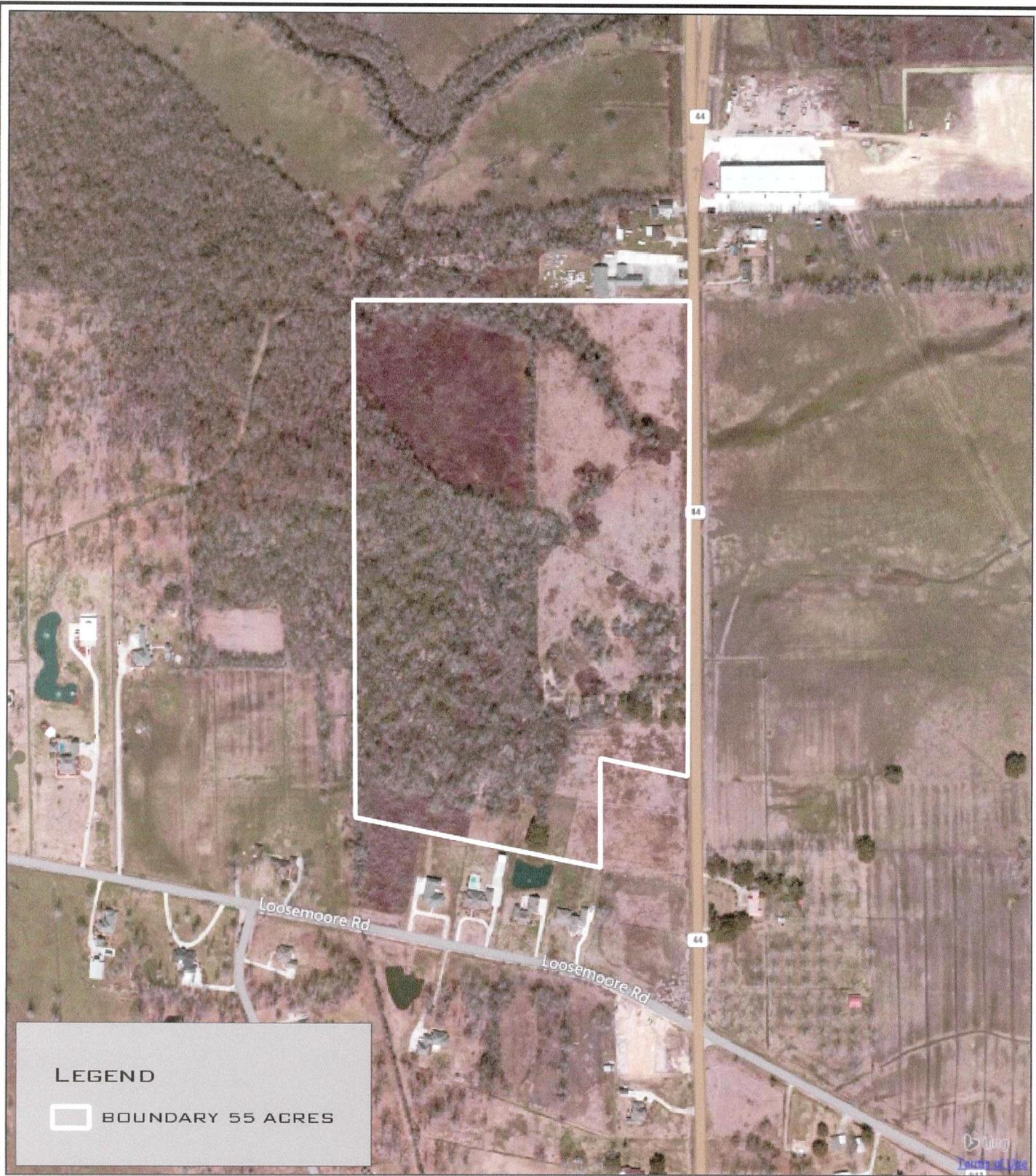
FIGURE  
 3



HF:1565c

DATE:122215

2323 HWY 190 EAST SUITE 2  
 HAMMOND, LA 70401  
 985 429 0333



**LEGEND**

 BOUNDARY 55 ACRES

DR HORTON, INC. GULF SOUTH  
 55 ACRES  
 GONZALES, LA  
 ASCENSION PARISH

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BING RGB

PROPOSED OAK LAKE SUBDIVISION SITE

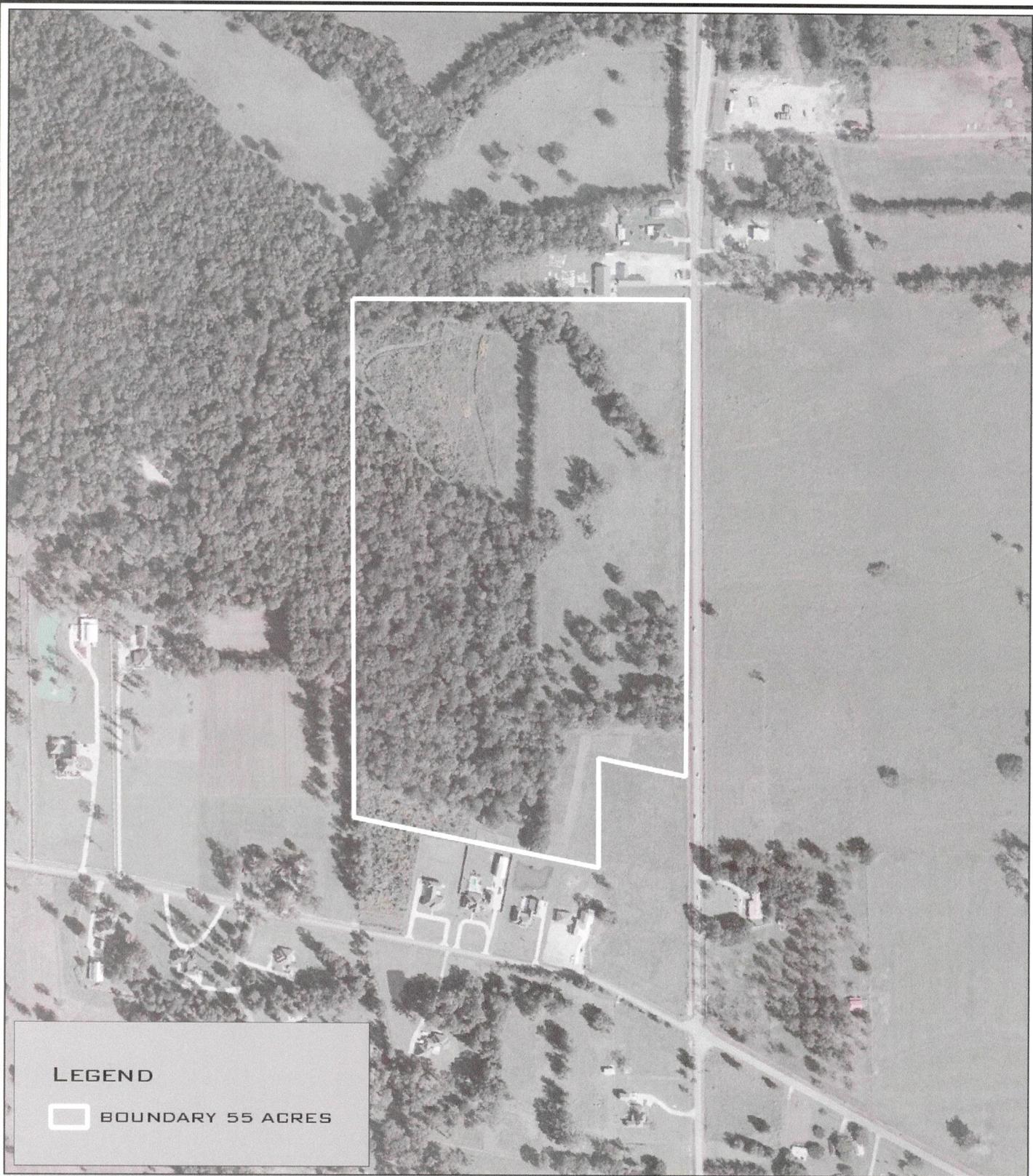
FIGURE  
 4

 **HYDRIK**  
 WETLANDS - GIS - FLOOD CONTROL  
 WWW.HYDRIK.COM

HF:15650

DATE:122215

2323 HWY 190 EAST SUITE 2  
 HAMMOND, LA 70401  
 985 429 0333



DR HORTON, INC. GULF SOUTH  
 55 ACRES  
 GONZALES, LA  
 ASCENSION PARISH

SITE COORDINATES:  
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 LEGAL SURVEY AND SHOULD NOT BE USED AS SUCH

USGS EROS RGB

PROPOSED OAK LAKE SUBDIVISION SITE

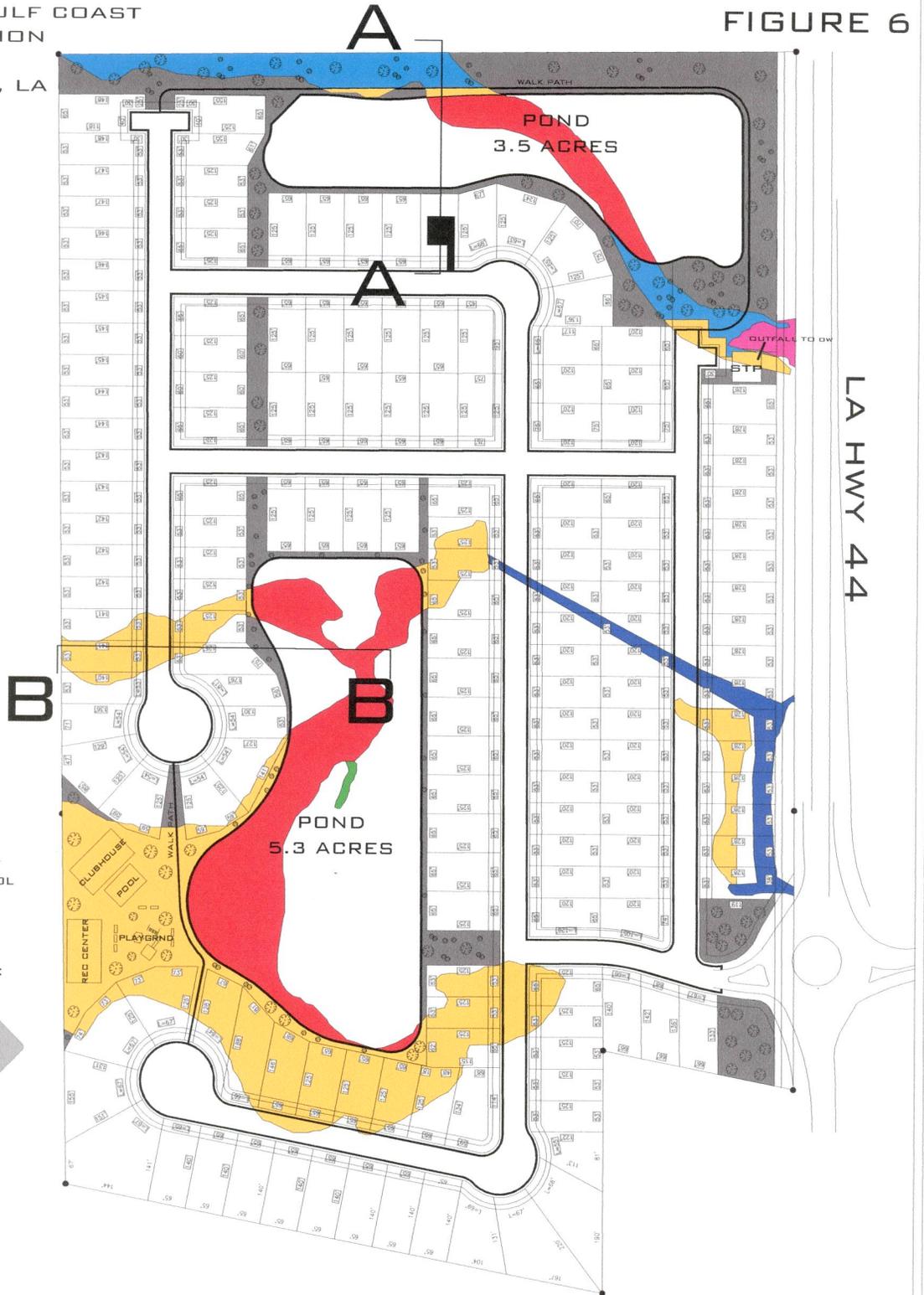
FIGURE  
 5

HF:1565c  
 DATE:122215

2323 HWY 190 EAST SUITE 2  
 HAMMOND, LA 70401  
 985 429 0333

DR HORTON INC., GULF COAST  
 OAK LAKE SUBDIVISION  
 ~55 ACRES  
 ASCENSION PARISH, LA

FIGURE 6



404 PERMITTING:  
**HYDRIK**  
 WETLANDS - GIS - FLOOD CONTROL  
 WWW.HYDRIK.COM

DESIGN AND ENGINEERING:



-  WETLAND AREAS WITHIN GREEN SPACE TO BE PRESERVED 0.96 ACRES
-  WETLANDS TO BE IMPACTED VIA FILL/GRADING (INCLUDES SECONDARY IMPACTS) 4.5 ACRES (IMPACTS INCLUDE WALKING PATH)
-  WETLANDS TO BE EXCAVATED FOR POND CONSTRUCTION 2.57 ACRES
-  SECTION 404 "OTHER WATERS" TO BE FILLED 0.53 ACRES
-  SECTION 404 "OTHER WATERS" TO REMAIN 0.11 ACRES (STP OUTFALL POINT)
-  SECTION 404 "OTHER WATERS" TO BE EXCAVATED FOR POND CONSTRUCTION 0.03 ACRES
-  UPLAND GREEN SPACE

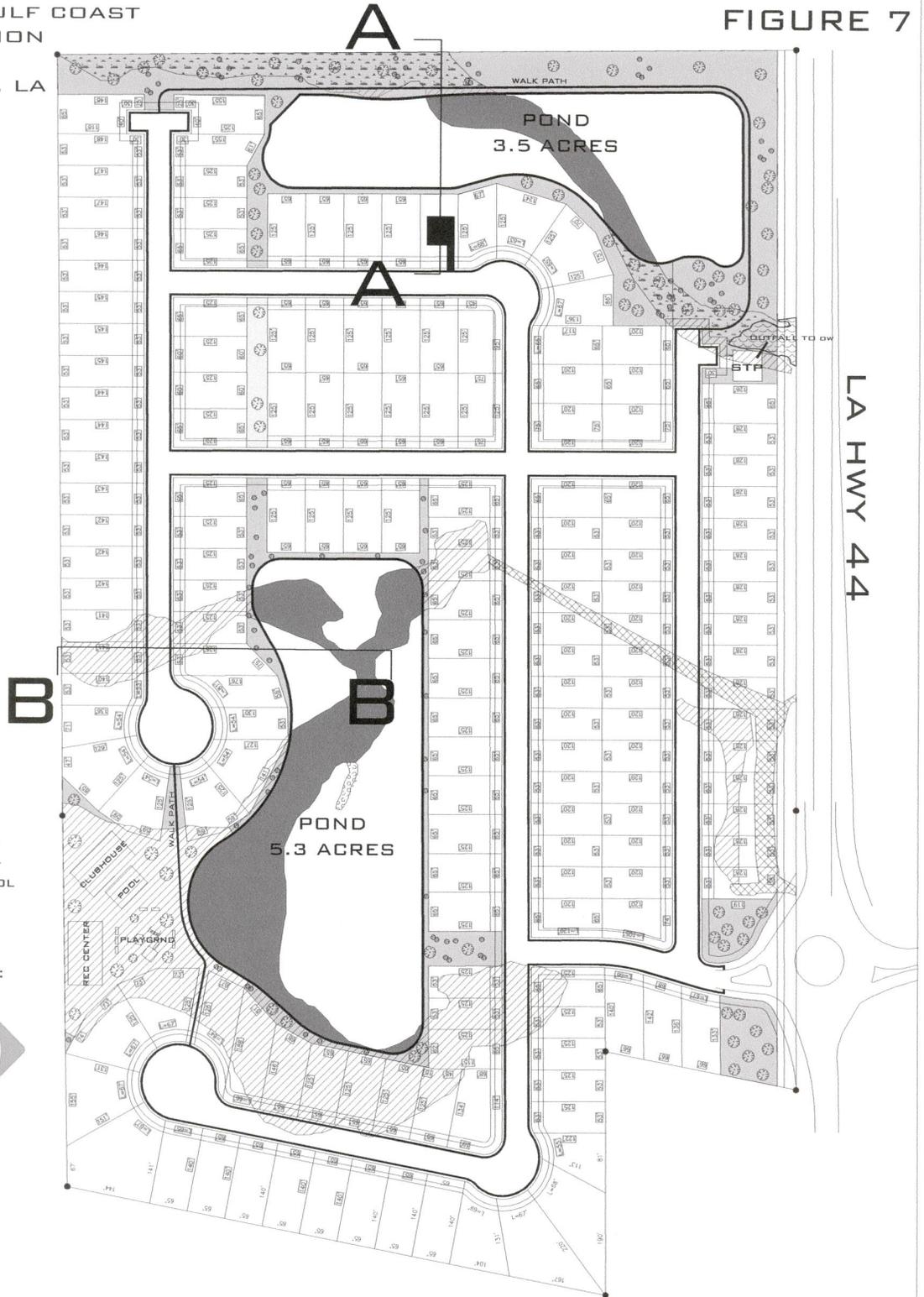


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DR HORTON INC., GULF COAST OAK LAKE SUBDIVISION ASCENSION PARISH, LA	
FILE: 15650	DATE: 120515
FIGURE: PLAN	REV :
DRAWING: PVCLR	APPROVED BY: 

DR HORTON INC., GULF COAST  
 OAK LAKE SUBDIVISION  
 ~55 ACRES  
 ASCENSION PARISH, LA

FIGURE 7



404 PERMITTING:  
**HYDRIK**  
 WETLANDS - GIS - FLOOD CONTROL  
 WWW.HYDRIK.COM

DESIGN AND ENGINEERING:



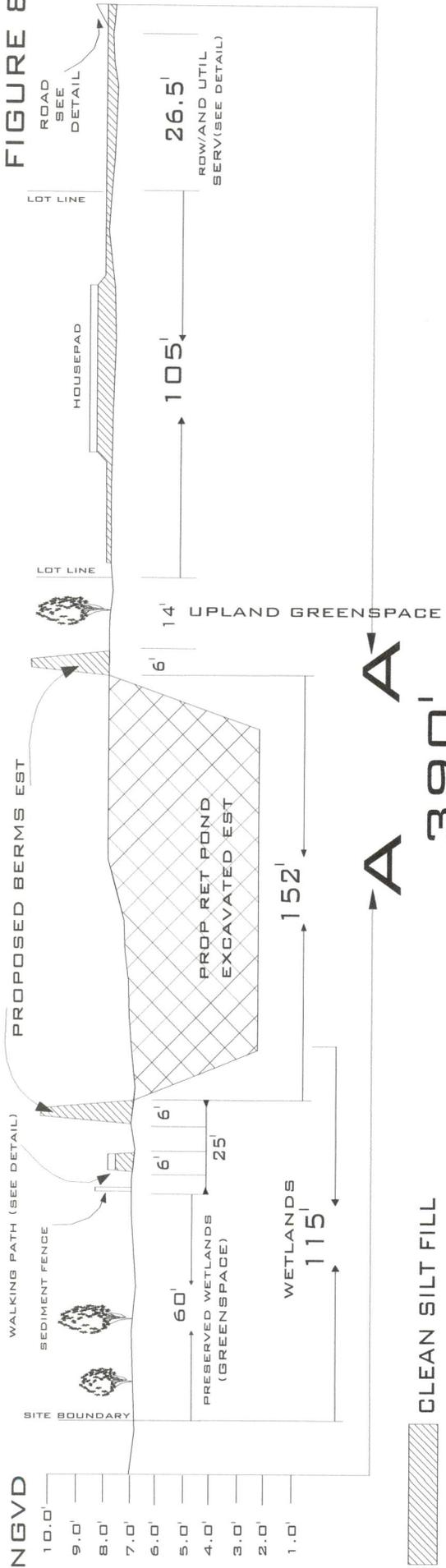
-  WETLAND AREAS WITHIN GREEN SPACE TO BE PRESERVED 0.96 ACRES
-  WETLANDS TO BE IMPACTED VIA FILL/GRADING (INCLUDES SECONDARY IMPACTS) 4.5 ACRES (IMPACTS INCLUDE WALKING PATH)
-  WETLANDS TO BE EXCAVATED FOR POND CONSTRUCTION 2.57 ACRES
-  SECTION 404 "OTHER WATERS" TO BE FILLED 0.53 ACRES
-  SECTION 404 "OTHER WATERS" TO REMAIN 0.11 ACRES (STP OUTFALL POINT)
-  SECTION 404 "OTHER WATERS" TO BE EXCAVATED FOR POND CONSTRUCTION 0.03 ACRES
-  GREEN SPACE



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<b>DR HORTON INC., GULF COAST          OAK LAKE SUBDIVISION          ASCENSION PARISH, LA</b>	
FILE: 1565C	DATE: 120515
FIGURE: PLAN	REV :
DRAWING: PVGS	APPROVED BY: <i>[Signature]</i>

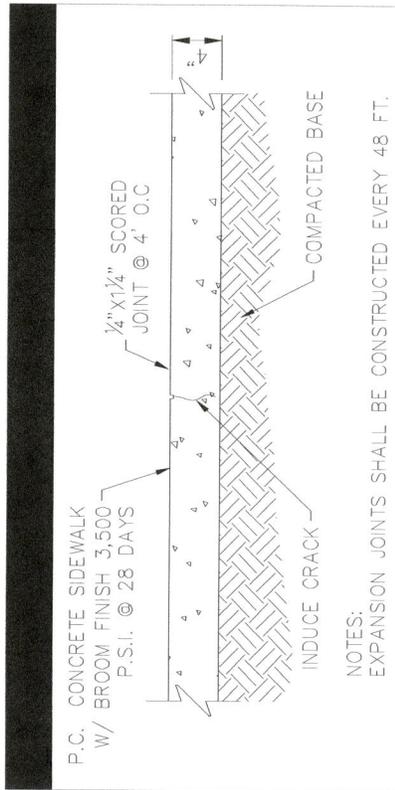
**FIGURE 8**



CLEAN SILT FILL  
EXCAVATION

HORIZONTAL AND VERTICAL SCALES AS LABELED

**SIDEWALK DETAIL**



SCALE AS LABELED

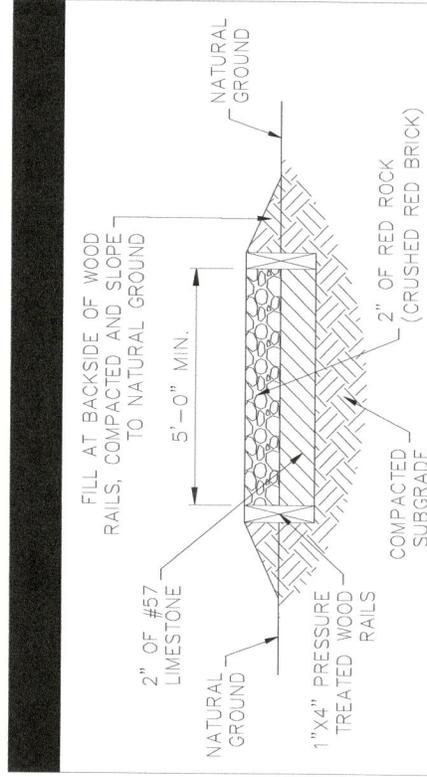
DESIGN AND ENGINEERING:



404 PERMITTING:



**WALKING PATH DETAIL**



SCALE AS LABELED

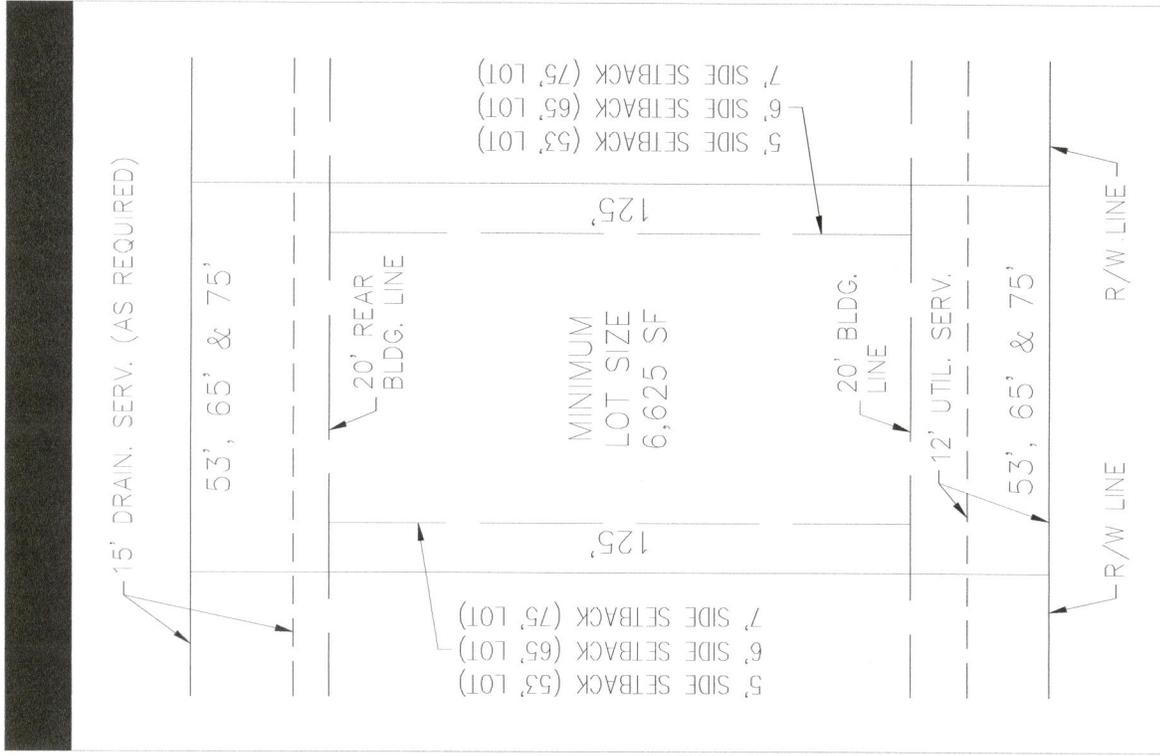
DR HORTON INC., GULF COAST  
OAK LAKE SUBDIVISION  
ASCENSION PARISH, LA

FILE: 1565C	DATE: 120515
FIGURE: 08	REV:
DRAWING: CSAA	APPROVED BY:



# TYPICAL LOT DETAIL

FIGURE 10



DESIGN AND ENGINEERING:

**QUALITY**  
Engineering & Surveying, LLC



SCALE AS LABELED

404 PERMITTING:  
**HYDRIK**  
WETLANDS - GIS - FLOOD CONTROL  
WWW.HYDRIK.COM

DR HORTON INC., GULF COAST  
OAK LAKE SUBDIVISION  
ASCENSION PARISH, LA

FILE: 1565C

DATE: 120515

FIGURE: DET

REV :

DRAWING: DETA

APPROVED BY: *[Signature]*

# GENERAL

1. NO ATTEMPT HAS BEEN MADE BY QUALITY ENGINEERING & SURVEYING, L.L.C. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES THAT MAY EXIST ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.
2. LOT AREAS AND LOT FRONTAGE MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE ZONING DISTRICT ESTABLISHED BY ASCENSION PARISH SUBDIVISION REQUIREMENTS.
3. ADJACENT PROPERTY OWNER INFORMATION AS SHOWN HEREON WAS TAKEN FROM THE LATEST TAX ASSESSORS PROPERTY OWNERS MAP WHEN THIS PLAN WAS PREPARED.
4. ALL IMPROVEMENTS HEREIN SHALL BE BUILT TO ASCENSION PARISH STANDARDS.
5. THIS PLAN IS FOR CONCEPTUAL PLANNING USES ONLY. THE LAYOUT IS SUBJECT TO CHANGE BASED UPON FINAL ENGINEERING DESIGN AND APPROVAL.
6. ALL LOTS SHOWN HEREON HAVE THE MINIMUM LOT SIZE AND LOT FRONTAGE FOR THEIR RESPECTIVE ZONING DISTRICTS AS SET FORTH IN THE ASCENSION PARISH DEVELOPMENT CODE.
7. NO CURVES EXIST ON PUBLIC STREETS WITHIN 1/4 MILE OF THE PROPOSED SUBDIVISION ENTRANCE.
8. LOTS 35 TO 50 WILL HAVE NO DRIVEWAYS OR DIRECT ACCESS TO HWY. 44.
9. ALL STREETS, RIGHTS-OF-WAY, AND SERVITUDES SHALL BE DEDICATED TO THE PUBLIC FOR PUBLIC USE.
10. A WETLANDS DETERMINATION HAS BEEN INCLUDED IN THE SUBMITTAL.
11. SIDEWALK MUST BE CONSTRUCTED PRIOR TO CERTIFICATE OF OCCUPANCY BEING ISSUED FOR EACH LOT.

- 1.) ONE CLASS "A" TREE TO BE PROVIDED PER LOT. TREES MUST BE PLANTED PRIOR TO C.O. BEING ISSUED FOR EACH LOT.
- 2.) 12 CLASS "A" TREES AND 24 ORNAMENTAL TREES ARE TO BE PLANTED PER ACRE OF PARK SPACE.
- 3.) THE PARKS WILL BE OF A STAGE 1 REQUIREMENT AND THE MAINTENANCE AND UPKEEP OF ALL COMMON AREAS WILL BE THE RESPONSIBILITY OF THE HOA.

**DESIGN AND ENGINEERING:**



404 PERMITTING:

ZONING: RM  
 LAND USE: SINGLE FAMILY RESIDENTIAL  
 LAND CHARACTERISTICS: PASTURE, WOODLAND, ETC.  
 ACREAGE: 54.8±  
 STREETS: TWENTY-SEVEN (27') FEET WIDE WITH THREE (3") INCHES OF ASPHALTIC CONCRETE WEARING COURSE ON A MINIMUM TEN (10") INCH SOIL CEMENT BASE WITH CONCRETE CURB AND GUTTER  
 SEWER: SANITARY SEWER TREATMENT PLANT SITE  
 WATER: ASCENSION WATER  
 ELECTRIC: ENERGY  
 GAS: ATOMS  
 TELEPHONE: EATEL/COX  
 CABLE: EATEL/COX  
 FLOOD ZONE: "AE" & "X" - PER FIRM 22005C0120E, DATED AUGUST 16, 2007  
 100 YR. B.F.E.: 9.0'  
 SCHOOL DISTRICTS: PECAN GROVE PRIMARY, GONZALES MIDDLE, EAST ASCENSION HIGH  
 BUILDING SETBACKS: FRONT - 20', REAR - 20', SIDE - VARIES (SEE TYPICAL LOT DETAIL, THIS SHEET)

PHASE 1: 50 TOTAL LOTS:  
 53' LOTS = 34 LOTS  
 65' LOTS = 14 LOTS  
 75' LOTS = 2 LOTS

PHASE 2: 50 TOTAL LOTS:  
 53' LOTS = 14 LOTS  
 65' LOTS = 34 LOTS  
 75' LOTS = 2 LOTS

PHASE 3: 63 TOTAL LOTS:  
 53' LOTS = 33 LOTS  
 65' LOTS = 29 LOTS  
 75' LOTS = 1 LOTS

TOTAL LOTS: 163 RESIDENTIAL:  
 53' LOTS = 81 LOTS  
 65' LOTS = 77 LOTS  
 75' LOTS = 5 LOTS

DR HORTON INC., GULF COAST  
 OAK LAKE SUBDIVISION  
 ASCENSION PARISH, LA

FILE: 1565C	DATE: 120515
FIGURE: NOTES	REV:
DRAWING: NOTES	APPROVED BY: <i>lyb</i>